

Altamonte Springs

Gateway Center Design Guidelines and Standards



City of Altamonte Springs
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Section 1

Design Guidelines and Standards for Development

Introduction

The purpose of this manual is to promote a style and quality of development within the Altamonte Springs Gateway Center that will contribute to the long-term value and stability of this development. As the issuing authority, the City of Altamonte Springs pledges its support and cooperation in working with the private sector for the purpose of achieving design solutions which are innovative, cost effective, and consistent with the design standards and vision outlined in this manual.

This manual consists of two sections.

Section One consists of a written narrative addressing the general standards pertaining to the Gateway Center.

Section Two includes graphic exhibits and color photographic references which illustrate the development patterns preferred for the Gateway Center.

When the words "will," "shall," or "must" are used, the text is referring to a design standard which is a requirement and is not be considered optional. When the words "recommended," "should," or "preferred" are used, the text is referring to a design standard which the Architectural Review Committee (ARC) will encourage, as part of the development review process.

Although design standards have been written for years, our approach differs slightly for the following reasons:

- Emphasis has been placed on the principle of partnering. Proposed improvements are coordinated with the ARC in a manner that parallels the traditional design through construction process. This is based on the premise that a constructive relationship between all involved will result in a superior product.
- While the desired image and character of the Gateway Center is documented, the ARC is sensitive to the fact that the "over specification" of design often results in a product which can become both boring and repetitive. Instead of overly specifying the full range of possible design decisions, the ARC has elected to focus those elements essential to the creation of a vibrant and sustainable mixed-use development.

Section 1: Introduction and Background

1.1 General.

All portions of the Property shall be developed in accordance with these Design Guidelines as adopted and amended. The provisions of these guidelines establish

certain requirements which, in addition to the applicable provisions of the City's Land Development Code (LDC's) shall apply to the development and use of property within the Gateway Center Activity Center boundaries. When the provisions of the Design Guidelines are in conflict with the LDC's the most stringent requirement shall apply. The term "ARC" (Architectural Review Committee) shall mean a committee established by the City for the purpose of reviewing proposed development within the Gateway Center and will be part of the City's Development Review Committee process.

The Gateway Center Boundaries are depicted in Figure 1.1:

1.2 Character.

The City intends to create a special environment for the Gateway Center through the creation of preferred development patterns as depicted in the Concept Plan, as shown in Section Two.

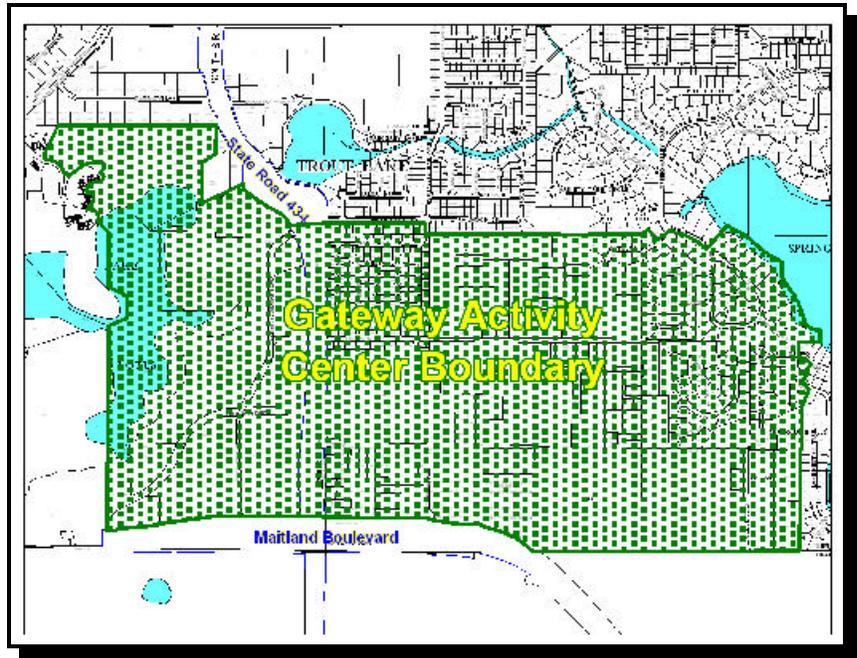


Figure 1.1 - Gateway Activity Center Boundary

Section 2: The Application and Review Process

2.1 General.

Consistent with the following general procedures, the ARC shall review and process applications for new development within the Gateway Center. Plans and specifications for all proposed improvements shall be submitted to the Development Review Committee and the ARC should review proposed development plans for the conformance to the Design Guidelines as part of the normal Development Review Committee process. Approvals shall be provided by the ARC in writing. Ordinary maintenance, replacements in kind or interior modifications that do not modify the exterior appearance of a site improvement do not require additional ARC review or approval.

Members of the ARC shall include designated City staff, or their representatives, who shall have the authority to establish requirements consistent with the process for site plan review outlined in the Land Development Code. In addition, the ARC may consider substitutions of similar elements provided they are consistent with the Design

Guidelines. Such review by the ARC shall only be considered during the review of a submitted and complete development plan. In exchange for substitutions of requirements, other requirements may be applied by the ARC. As determined necessary, the cost of retaining an outside consultant shall be in addition to the design review application fee in accordance with existing ordinances.

Development proposals subject to these Design Guidelines shall include all development applications within the limits of the Gateway Center Activity Center.

2.2 Procedure.

At a minimum, one pre-design meeting with the ARC and two submissions to the ARC are required as outlined below.

2.2.1 Pre-design Meeting.

Prior to the initiation of schematic level planning and design, the Owner (or Owner's representatives) shall meet with the ARC for the following purposes:

- a. To address any questions regarding the design criteria and their relationship to the proposed improvements.
- b. To ensure that the Owner has received all relevant and up to date criteria and fully understands development regulations pertaining to the subject property.
- c. To generally discuss the nature and extent of the proposed improvements and any special planning or design issues prior to the initiation of schematic design. Areas of emphasis will be the relationship of the proposed improvements to existing improvements, or to adjoining single family residential districts.

2.2.2 Schematic Design Submittal.

Concurrent with the submittal of the Preliminary Site Plan, Combined Preliminary/Final Site Plan, or Final Site Plan, a schematic level design submittal to the ARC is required. Generally, this submittal tracks a "30%" to "40%" plan preparation package and shall include the following information:

- a. A site plan showing all known building locations and footprints, parking, adjacent roads and utilities, setbacks, curb cuts, access, proposed utility connections, major signage, building entrances, services areas, ground mounted utilities, storm water/drainage and other and other major site related features.
- b. Building elevations showing general appearance of all structures along with description and/or samples of facade materials and colors.
- c. Site related information such as site coverage, landscape and open space calculations, building height and square footage, and parking requirements.
- d. Other relevant information pertaining to the proposed improvements about which the applicant may desire to obtain preliminary ARC comment.
- e. Should any changes or deviations from the approved site plan occur, the applicant shall submit plans which include a detailed description of all such changes or modifications unless otherwise directed by the Growth Management Director or his designee.

2.2.3 Construction Documentation Submittal.

Prior to the initiation of site clearing, the applicant must receive written approval from the ARC for final plans and specifications, such as completed construction/as-built documents, which encompass at a minimum the following.

- a. A final site plan showing improvement location; required setbacks; easements; existing and proposed utilities; utility connections; ground mounted building equipment; fire lanes; ingress and egress locations; pedestrian walkways; trash storage areas; service areas; screening; storm water controls; topography; paved areas; fences and other site related features; above ground utilities including how they will be screened from view.
- b. Building plans and specifications that show floor sizes, exterior elevations, service areas, exterior finish materials, access, exterior lighting, and screening.
- c. Landscape plans showing berming; location, type and size of landscape; hardscape treatments; street furnishings; exterior lighting; and site irrigation design.
- d. Cut sheets or samples of exterior materials showing color, texture, finish, and shape.
- e. Certification by the Owner's engineer, architect, and landscape architect that the

design of the improvements complies with the design standards and protective covenants, if any apply. If any proposed site improvement is not in compliance, the Owner's engineer, architect and/or landscape architect shall specify and explain such non-compliance.

- f. Other information requested by the ARC as might be necessary and reasonable to evaluate the Owner's submittal.
- g. The applicant shall submit post construction "as built" plans of the ARC construction documentation submittal which include a detailed description of all changes or modifications from the approved plans regardless of their magnitude. Such "as built" plans are separate from the "as built" and record drawing requirements required by the Land Development Code.

2.2.4 Submittals.

All submittals shall be in duplicate. One set marked with ARC comments shall be returned to the Owner and a duplicate copy will be retained by the ARC.

Depending on the nature and extent of the review comments prepared by the ARC, the ARC reserves the right to request a meeting with the applicant, and the applicant's design team for the purpose of discussing and resolving the issues identified by the ARC.

2.2.5 Modified Procedures.

Procedures may be modified by the ARC to accommodate the Owner's need for fast track construction. At an Owner's request, the ARC may approve plans for certain phases of construction of site improvements before the Owner is ready to submit full plans for all phases of the construction. In this event, the Owner shall be solely responsible not only to see that plans for subsequent phases comply with these Design Guidelines and to the Land Development Code, but also for any modifications to completed phases of construction that may be required to obtain ARC approval for plans for subsequent phases. It is the Owner's responsibility to ensure that any changes made on a document after the document has been approved by the ARC are submitted to the ARC. The ARC shall base final approval of the site improvement on completed construction documents and associated information.

2.2.6 Owner's Responsibility.

It is emphasized that it is the Owner's responsibility to notify the ARC of any variances between the Owner's design and the Design Guidelines.

2.2.7 Approvals.

Approval of the plans and specifications shall be based upon a determination by the ARC, by a majority vote, as to whether in its judgment that such plans and specifications adequately meet objectives established with regard to aesthetic quality as well as meeting other requirements created by Design Guidelines.

2.2.8 Failure to Approve.

Should the ARC fail to either approve or disapprove the plans and specifications submitted by an Owner within 45 days after submittal, it should not be presumed that the ARC has approved such submitted plans and specifications. If any plans or specifications are submitted in a form that is not sufficiently complete or are otherwise determined inadequate, the ARC may return such plans or specifications for resubmission or may review portions thereof and return the balance. Delays caused by the need for additional information or modification to the submitted documents shall extend the review period from the time of receipt of the additional information.

2.2.9 Plans and Specifications.

Plans and specifications shall be submitted to the ARC. The ARC shall act as a supplemental design review committee whose actions will be integrated with the City's development review process. This supplemental design review shall be specifically limited to development applications proposed within the geographic limits of the Gateway Center Activity Center.

2.2.10 Deviations and Variances.

Authority to consider and approve requests to deviate from the requirements of these Design Guidelines is vested in the ARC, but said deviations may not be greater than the minimum requirements of the Land Development Code, if applicable. At its discretion, the ARC may require that a written request be filed in order to apply for the deviation. If a requested deviation also deviates from the minimum requirements of the LDC, a variance application shall also be required. Variance review will involve a public hearing before the Planning Board if the requested variance is greater than 15% of the code standard. The Design Guideline deviation request must be considered by the ARC prior to the consideration of the zoning variance request by the Development Review Committee or Planning Board. Applications for a variance to the LDC Sign Regulations, outside of the Master Sign Plan approved by the Planning Board, are to go to the Board of Zoning Appeals.

2.2.11 As Built Documentation.

Prior to the issuance of a Certificate of Occupancy, the Owner shall submit to the City as built drawings of the ARC construction documentation submittal for the proposed improvements. The nature and extent of this as built documentation shall be in accordance with the City's Land Development Code.

2.2.12 Appeals.

An applicant may appeal the determinations of the ARC in the same manner prescribed in Land Development Code.

Section 3: The Gateway Center District

The "Gateway Center" shall mean the area of new development illustrated in Section 1.1 herein and should include a mix of a land uses including, but not limited to office, retail, ancillary retail and supporting services, residential, health and fitness facilities, and civic/open space uses.

3.1 The Gateway Center Concept Plan.

The Gateway Center Concept Plan is a general illustration of the "preferred" development patterns recommended for the Gateway Center. Although the final plan for development may vary from this concept plan, it is the intent of the ARC that the following "sustainable" development patterns be incorporated:

- a. Street "typing" as illustrated in Section Two of this document. Such "typing" refers to right of way widths and roadway cross sections; curb cuts and access; streetscape treatments; roadway lighting; the use of on street parking (where indicated); the use of traffic calming measures; and minimum/maximum setbacks from rights of way.
- b. The use of building massings to create street edges, and the siting of primary or "signature" structures at prominent locations.
- c. The use of centralized open space and water management areas that relate to public spaces within the Gateway Center.
- d. The siting of parking to the side and rear (generally) of structures.
- e. The use of shared parking and structured parking.
- f. The use of an interconnected street network supporting a safe and comfortable pedestrian environment.
- g. The use of transit oriented design principles that consider local and regional transit policies, goals, and objectives. Particularly, buildings should be situated close to the roadways and pedestrian facilities and transit shelters should be located between near and between buildings and structures.

3.2 Architectural Guidelines.

The following architectural standards have been prepared as a reference point for the development of architectural plans for all development types. The intent is to guide the overall quality of new development while allowing flexibility within specific architectural styles.

3.2.1 Exterior Walls and Building Elevations.

- a. Walls, when visible from the street, shall be finished in brick, stone, cast stone, stucco, or artificial stucco.
- b. Stucco shall be a smooth sand finish and/or trawled (or as approved by the ARC).

- c. The color of buildings should be in the cream to russet range (or as approved by the ARC). Stark white shall not be used. Highly reflective glass shall not be used.
- d. Accent colors shall be selected to complement the dominant building color (or adjacent existing buildings), and may be applied to window mullions, cornices and other architectural elements. Fluorescent colors shall not be used.
- e. Gates should be painted metal (no chain link). Wood, where visible, shall be painted or stained.
- f. Buildings should be articulated at the corner of the block and respond in use and appearance to the common plaza areas shown on the Gateway Center Master Plan. Care should be taken to fully integrate these improvements.
- g. Exterior walls should show an articulated base course and a cornice detail on all frontages with internal streets and with adjoining public streets. The transition from the outdoors should be marked through the use of materials, colors; the articulation of facade walls; landscaping, or a combination of the above.
- h. The ratio of glass to wall of the building facade shall not be more than 40% except at the ground level where Retail frontages shall be a minimum of 60% or more. This ratio should not be less than 20% for habitable structures.
- i. Walls should show no more than two materials or colors. Material changes should occur along a horizontal line with the heavier material below the lighter.
- j. Brick mortar joints, if used, should be struck.
- k. Arches and piers should be no less than 1 ft. X 1 ft. Wood and metal posts should be no less than 6 in. x 6 in.

3.2.2 Building Attachments.

- a. Roofs should be finished in an architecturally appropriate color consistent with surrounding development within the Gateway Activity Center, as approved by the ARC.
- b. Gables should not be superimposed unless the smaller is associated with a balcony, porch or entrance.
- c. Eaves should be continuous except where they meet a major building articulation. Eaves should overhang no less than 4 feet facing a street, roadway, or parking area and have an elaborated soffit.
- d. Chimneys if visible from streets should be brick or stone. Chimneys should have a projecting cap.
- e. Flues may be galvanized or painted metal.

- f. Porches and loggias should be made of wood, brick, cast stone or cast metal. Porches and balconies may not be enclosed by glass or screens, unless approved by the ARC.
- g. Signs shall be made of painted wood or painted metal unless otherwise approved. Signs located within the Gateway Center shall be generally consistent with the theme, style, and quality of the architecture.
- h. Awnings shall be fabricated with a metal armature and a canvas membrane.
- i. Railings shall be made of metal unless otherwise approved.
- j. Railings and walls attached to buildings shall be developed as architectural extensions of the building and constructed of the same materials and in the same style.
- k. Front walks shall match the public walk unless otherwise approved. Streetscape treatments shall be submitted for review by the ARC, and once approved, be implemented in accordance with the approved streetscape master plan.
- l. Care should be taken to detail the underside of the soffit/overhang, as this condition is more visible than the roofing material.
- m. Gutters and downspouts should be incorporated as architectural elements within each building's facade. Low quality "residential" style or "rolled" aluminum surface mounted gutters are prohibited.
- n. Arcades and running awnings, if used, should extend to the sidewalk a minimum of 6 feet. Variances may be granted at the sole discretion of the ARC.
- o. Buildings along frontage lines should have facades or street walls placed on a minimum of 75% of the frontage line. Generally, a 6-foot front setback easement should apply to all properties along public rights of way. Buildings shall be setback a minimum of 12 feet from the face of curb when adjacent to off street parking areas.
- p. Awnings should be sloping rectangular without side or bottom soffit panels. Awnings shall not be internally lit.
- q. Panelized materials including keystones and quoins shall not be permitted.
- r. Balconies visible from the street should incorporate opaque railings or a shallow dimension.

3.2.3 Roof Treatments.

- a. Roofs, if sloped, should be clad in metal or tile in a color to be approved by the ARC. Flat roofs should be finished with an elastomeric membrane in a gray green color.

- b. If visible, gutters, downspouts and projecting drainpipes should be made of metal painted gray green.
 - c. Gables may not be superimposed unless associated with a balcony, porch, or entry. Principal roofs, if sloped, shall be symmetrical gable or hip angled between 3:12 and 8:12. Flat roofs shall be surrounded on all four sides by a horizontal parapet wall no less than 3.5 ft. high from the roof deck. Ancillary roofs (attached to walls of the principal building) may be sheds angled no less than 3:12.
 - d. Eaves shall be continuous. Eaves should overhang no less than 4 ft. and shall incorporate an elaborated soffit.
 - e. Dormers shall appear habitable and placed a minimum of 3 feet from building sidewalls.
 - f. Roof penetrations, in all conditions, such as stacks, etc., shall be finished to match the color of the roof and minimized as much as possible.
 - g. Skylights should run generally parallel to the plane on which they are secured.
- 3.2.4 Building Openings.

- a. Windows should be made of painted aluminum, wood or vinyl and clear glass with less than 10% tint or mirror. Windows should be single, double, triple hung, or operable casements. Windows shall be vertical or square in proportion. Windows shall not be flush mounted.
- b. Bay windows (if used) should extend to the interior floor and be supported by visible brackets on the exterior unless approved by the ARC.
- c. Doors shall be painted.
- d. Shutters shall be either louvered or paneled, and made of painted wood, metal, or Hardieplank. Shutters dimensions shall match the opening to which they are visually associated.
- e. Solid metal security gates or solid roll down windows are not permitted without ARC approval.
- f. Multiple windows in the same rough opening should be separated by a 4-inch minimum post.
- g. Windowpanes shall horizontally proportioned throughout the building.
- h. Screens shall cover the entire window area.
- i. Doors (except garage doors) should be side hinged (no sliders).

- j. Doors on balconies should be French doors.
- k. Upper story openings shall be centered above lower story openings. Openings on gabled ends must be centered.
- l. Storefront windows should be in between 2 ft. and 2.5 ft. above ground level and shall reach to within 1 ft. of ceiling height. Storefront windows should be lit at night.
- m. All windows require a continuous sill. Windows sills should be emphasized more than window headers.
- n. Mullions should be used sparingly on retail windows.
- o. Align the tops and bottoms (if possible) of windows and doors along building elevation.

Section 4: General Retail

4.1 General.

Retail shall mean uses for the sale of goods, merchandise and services to the general public for personal or household consumption. Retail shall include, but not be limited to, restaurants, shopping complexes, banks, department stores, restaurants, professional office (sited within a retail center), and approved drive-thru facilities. Specific uses shall conform to the underlying future land use and zoning designation of the development site.

Retail shall be designed to be attractive and compatible to the desired architectural style of the Gateway Center. User convenience should be a principal concern. The location of structures should reflect consideration of neighboring developments, roadway visibility and vehicular and pedestrian access and circulation. Linear retail centers shall maintain setbacks and landscape buffers sufficient to soften the geometry of such structures.

4.2 Style.

Retail centers should present a consistent architectural expression in style, color, material and scale and be compatible with surrounding development. The use of arcades or landscaped, sheltered walkways across the front of these centers as a physical and visual linkage is strongly encouraged. Long arcades shall be divided into sections to provide variety. Monotony of continuous, large expanses of facade must be avoided. Architectural materials on all building faces of a structure must be compatible if visible from adjacent streets or drives.

4.3 Site Plan.

Stand alone retail structures, such as restaurants, shall be designed and sited to be

harmonious architecturally with adjacent retail and other structures. Standard company or corporate architectural design may not be permitted. The use of company logos, themes and colors should be incorporated into the common development design and materials vocabulary. Individual retail structures must maintain minimum building setbacks from principal roadways and not block significant direct visibility and vehicular access to other structures. These structures should not appear as fragmented pieces that have been "pushed away" from the typical building setback pattern. Off street parking areas will be screened with a combination of required streetscape treatments, natural vegetative buffers, and a combination of landscaping, berms, and/or low walls. Refer to Section Two of this document for typical retail site planning criteria.

Section 5: Landscaping

5.1 General.

Building sites within the Gateway Activity Center shall be well landscaped to make the development an attractive place to conduct business. Landscaping concepts and plans are subject to ARC approval and are a major consideration when reviewing site plan. Requirements of this section supplement those found in the City's Land Development Code which also apply including current tree protection regulations.

Landscaping should be designed to:

- S Enhance the building site;
 - S Provide unity to Gateway Center and to the Owner's parcel;
 - S Accent entrances;
 - S Minimize visibility of parking and essential, but unattractive, areas; and
 - S Provide year-round color and interest.
- a. Overall Landscape Concept Plan. The development projects within the Gateway Center area are intended to have unified design elements and themes, including landscaping. Landscaping on adjacent parcels should be consistent and complementary. To ensure that objective is met, an overall landscape concept plan for the Gateway Center project area shall be submitted to the ARC for review and approval prior to, or simultaneously with, the development plans for the first parcel. At a minimum, the concept plan shall identify the following:
- (1) The boundary of the Gateway Center development, major natural features such as lakes, wetlands, and conservation areas, existing major stands of trees, and the location of existing Heritage Trees (30" or greater DBH).
 - (1) The planned street system, parcel layout, location of major structures and parking areas, location of public spaces, and the planned location of ground signs and transit kiosks.
 - (2) The planned landscaping treatment along Gateway Drive and the other internal and external roadways, including the Gateway Drive/SR 434 and Maitland Boulevard entrances to the project.

- (3) The planned landscaping treatment for the public spaces.
- (4) The planned landscaping treatment for the perimeter buffers of the parcels, including the frontage buffers. Attention should be paid to the buffer area where the back of one parcel abuts the front or side of another parcel.

The landscape concept plan will be used as a guideline for the design of future parcels. As parcels are designed, deviations to the concept plan may change with the approval of the ARC so long as the overall intent of having a unified and consistent landscape program is maintained.

5.2 Landscaping.

- (a) Plans. No plans for building, structure, paving, or other site improvement to be erected, placed, or altered in or upon any parcel shall be approved by the ARC unless there shall also have been submitted separate plans satisfactory to the ARC for the Landscaping of the Parcel. Such Landscaping plans shall include plant material and landscape construction to be installed on the Parcel and plans for an underground irrigation system for all planted areas. Landscaping plans and irrigation systems shall be prepared and sealed by a Florida Registered Landscape Architect.
- (b) Plant Material. Nomenclature shall conform to STANDARD PLANT NAMES, 1942 Edition. All nursery stock shall be in accordance with GRADES AND STANDARDS FOR NURSERY PLANTS Parts I and II, latest edition published by the Florida Department of Agriculture and Consumer Services. All plants shall be Florida Grade No. 1 or better as determined by the Florida Division of Plant Industry.
- (c) Installation. Landscaping in accordance with the plans submitted and approved by the ARC must be installed within thirty (30) days following the completion of the building(s) to which such landscaping relates and prior to the issuance of the Certificate of Occupancy. With ARC approval, this may be extended, allowing for the seasons of the year. Landscaping which has been installed on any parcel must be properly maintained at all times. No significant changes shall be made to the Landscaping on any parcel after it is installed without the prior approval of the ARC.
- (d) In the event the landscaping in the right-of-way adjacent to an Owner's parcel is damaged due to the acts of an Owner or Owner's agents; such Owner shall be responsible for any and all expenses related to its replacement.

5.3 Landscape Materials.

Landscape materials should be hardy and disease resistant, require low maintenance and minimum water and provide a variety of colors. Approved plant materials for building sites are listed below. Use of plant materials not on the approved list requires ARC approval.

Plant PaletteCanopy Trees

These species are required to be used for street trees, perimeter buffers, and parking lot island landscaping. They may also be used for any other landscape areas. (Canopy Trees are defined as “Buffer Tree” in the landscape code).

Bald Cypress	Florida Elm	Red Maple
Dahoon Holly	Laurel Oak	Sweet Gum
Drake Elm	Live Oak	Slash Pine
East Palatka Holly	Magnolia	Sycamore

Accent Trees/Understory Trees

These species are appropriate for accent uses such as around building perimeters, to screen service areas, as understory trees in buffers and parking lot landscape islands, and as a component of a living landscape barrier. Accent trees having less than a 15-foot mature canopy spread must be clustered so as to initially achieve a 15-foot canopy spread (refer to LDC 8.2.1.1(b)(4)). (Accent Trees are also defined as “Power Line Tree” in the landscape code).

Crape Myrtle	Southern Wax Myrtle	Weeping Bottlebrush
Ligustrum Tree	Wax-leaf Privet	

Palms

Palms are appropriate for accent uses such as around building perimeters and to define special features. Except for Date Palms, a cluster of three palms may count as one 2” canopy tree if interior to the site and approved by the ARC, up to a limit of 25% of the required trees. All palms must have a minimum 14’ clear trunk.

Cabbage Palm	European Fan Palm	Washington Palm
Chinese Fan Palm	Medjool Date Palm	
Date Palm	Paurotis Palm	

Shrubs

Whenever possible, shrub rows should be of a serpentine pattern.

African Iris	Japanese Yew	Sago Palm
Anise	Ligustrum	Saw Palm
Azalea	Oleander	Variegated Ginger
Crinum Lily	Ornamental Grasses	Viburnum
Dwarf Yaupon	Philodendron	Wax Myrtle
Indian Hawthorn	Plumbago	

Groundcover/Vines

Asian Jasmine	Daylily	Parson’s Juniper
Boston Fern	Fig Vine	Trailing Lantana
Confederate Jasmine	Liriope	

Note: Street trees shall be canopy trees unless otherwise approved by the ARC. All required new trees shall meet all of the size specifications in the table below. A minimum of 1/3 of all required new trees on a Parcel shall be four-inch trees, a minimum of 1/3 shall be three-inch trees, and 1/3 may be two-inch trees or greater DBH at the time of installation.

Minimum Tree Specifications (at time of installation)

Caliper(DBH)	Height	Clear Trunk	Crown Spread
4 inches	16 feet	5 feet	9 feet
3 inches	12 feet	4 feet	7 feet
2 inches	8 feet	3 feet	5 feet

Accent trees must meet all of the two-inch tree specifications and shall be considered equivalent to a 2-inch canopy tree when clustered to so as to achieve a 15-foot mature canopy spread. Requests to allow larger accent trees to be recognized as the larger three-inch or four-inch trees may be considered on a case-by-case basis by the ARC.

No artificial landscaping materials shall be used unless specifically approved by the ARC. Should an applicant propose using artificial landscaping materials, all such materials must be itemized and clearly denoted on the project’s landscaping plan. Generally, however, artificial materials may not be implemented. When rocks are planned in the landscaping, rock material native to this general area and approved by the ARC shall be used so as to provide a natural appearance. Crushed stone may be used for “special treatments” in the common areas or the landscape setbacks with the written approval of the ARC.

5.4 Sight Line Requirements.

Landscape treatment shall not interfere with sight line requirements at street or driveway intersections.

5.5 Design for Ease of Maintenance.

All landscaping shall be designed for reasonable maintenance and all landscaped areas shall be maintained in a quality manner at all times. Trees, shrubs, vines, and plants that die shall be promptly removed and replaced. If specifically approved by the ARC, retaining walls or terracing may be used in areas where excessive maintenance would otherwise be required. Such areas shall be landscaped or mulched.

5.6 Building Perimeters.

Owners shall utilize plant materials at intervals around the perimeter of a structure to

provide an attractive transition between ground plane and building elevation. The planting area shall incorporate groundcover, flowering plants, mulch, and other appropriate foundation treatments to visibly define the planting area in a flowing, non-linear manner whenever possible. The following minimum requirements shall be met in the planting areas around the perimeter of buildings and parking structures.

Minimum Building Perimeter Planting Area Requirements

<u>Building Height</u>	<u>Minimum Planting Area Depth</u>	<u>Trees per 50' of Building Perimeter</u>	<u>Shrubs per 50' of Building Perimeter</u>
Up to 15'	5'	1 canopy tree or 2 accent trees	20
15.1' – 35'	6' – 10'	2 canopy trees and 3 accent trees	20
Over 35'	6' – 10'	4 canopy trees and 5 accent trees	20

Note: Clusters of three palms may be substituted for one canopy tree.

With the approval of the ARC, foundation planting areas may be located away from buildings to avoid conflicts with architectural features (e.g. roof overhangs), vehicular areas serving drive-up windows, and similar conflicts.

Blank facade building faces will require the doubling of the foundation planting area requirements.

5.7 Parking Areas.

Surface parking areas shall be reasonably screened from streets and adjacent building sites by the use of berms, trees, and shrubs to minimize views of automobiles below hood line from adjacent roadways and structures. Parking lots shall be landscaped, as approved by the ARC along the perimeter and internally to reduce the visual impact of large numbers of parked cars. This can be achieved by subdividing large lots, use of landscaped islands and divider islands, or similar techniques. Structured parking must be landscaped around the perimeter. Such landscaping shall include a significant proportion of trees. Landscape planters on the edge of the various levels and on the upper deck are required.

5.8 Ground Mounted Signs.

Owner shall install a low landscape treatment around the base of ground mounted signs.

5.9 Unused Property.

Property purchased for future expansion and that is not in the immediate vicinity of buildings, parking lots, and site circulation may be maintained in a natural condition. Grass shall be cut periodically if necessary to maintain a neat appearance. Such areas do not have to be irrigated or given high levels of maintenance. Exotic plant material, if present, should be removed.

5.10 Access.

No landscaping shall obstruct vehicle or pedestrian sight lines at street or driveway intersections or interfere with reasonable access to utilities.

5.11 Retail.

Retail developments, including freestanding retail, shall be separated from adjacent development by a landscaped buffer to be provided by the retail developer and approved by the ARC. To the extent practical, retail uses should be well landscaped to improve their appearance, minimize the visual impact of parking and be inviting to customers. Barren walls with no window openings shall have the surface area partially obstructed from view by landscaping. Service and loading areas shall be exempt from this requirement when not visible from public areas.

5.12 Irrigation.

An automatic underground irrigation system shall be installed for all newly landscaped areas.

5.13 Additional ARC Landscape Requirements.

a. General Criteria

- (1) Landscape plans will be evaluated on the basis of seasonal and design interest created through the use of plant materials, enhanced pavement materials, and publicly visible accent features such as sculpture and fountains. All landscaping within rights-of-way and common areas will be subject to a maintenance agreement between the City and the Owner.
- (2) The ARC reserves the right to establish a required plant material list to be applied to future landscape plans.
- (3) Landscape materials should be hardy and disease resistant, low maintenance, require little water, and provide varying color.
- (4) Grass or sod should be avoided. Utilize plantings of shade trees, ornamental trees, shrubs, evergreen groundcovers, vines, and seasonal color set in paved surfaces for front yard landscape development.
- (5) Develop pedestrian spaces and features such as fountains, plazas, seating areas, etc. which are publicly accessible, self policing, and located in the front yard. Avoid creating "dead end" spaces lacking pedestrian connection to other activity areas.
- (6) Landscape material that is to be used for screening must be mature enough or of a large enough size to provide adequate screen at the time of installation.

- ##### b. Building Entry Zones, Special Public or Semi-Public Pedestrian Oriented Plazas.
- These spaces demand a higher level of design detail. This may be achieved through

- the use of a broader palette of plant materials, intricately designed paving patterns, etc. Arbors planted with climbing vines may also be appropriate for use in these areas.
- c. Streetscape Materials and Methods.
 - (1) Paving materials used in front yards shall be selected and designed in patterns that complement the adjacent public sidewalk. Warm tone, natural materials such as brick and stone are preferred over materials such as poured-in-place concrete for paving enhancements.
 - (2) Asphalt and gravel shall not be used as paving materials with regard to streetscape materials and methods.
 - (3) Verify that proposed landscape elements such as trees, large shrubs, lampposts, etc. will not conflict with underground elements.
 - (4) Respect the spacing and rhythm of the street trees and the street lamps in the public right-of-way when developing the front yard landscape plan. Do not locate a tree or lamp post closer than 20 feet to a street tree or street lamp post location.
 - (5) Landscape lighting may be used to highlight landscape elements, building entries and other important architectural elements, and accent elements such as fountains and sculpture.
 - (6) An automatic underground irrigation system shall be installed for the landscaped areas of building sites and designed to ARC standards if within the common areas.
 - d. Street Furniture. All site furniture shall be made of long-lasting materials such as concrete, stone, metal, and approved hardwoods, and shall be submitted to the ARC for approval.
 - e. Tree Grates and Tree Guards.
 - (1) Tree grates shall be used throughout the retail main street and other high pedestrian traffic areas. Grates may also be used in pocket parks and other areas deemed necessary through review by ARC. Tree grate specification shall be submitted to the ARC for approval.
 - (2) Tree guards shall take the form of a low fence 12-14" high of ornamental metal defining the edge of the tree wells. Tree guards are to be used on all street categories (public and private) unless tree grates are required, as well as other areas deemed necessary through review by ARC. Gauge of metal utilized should not be less than 3/8" diameter. Tree guard design to be provided by the ARC. Plant material may be used in lieu of tree guards with ARC approval.
 - f. Bollards. Bollards are to be used to protect trees and help define lanes where there is a curbless condition. Such areas may include office visitor parking areas. Bollard

- specifications to be submitted for approval by the ARC.
- g. Street Benches, Bike Racks, and Litter Containers.
 - (1) Benches, bike racks, trash containers, bollards, and public art are the only site elements that may be placed within the street right-of-way. Install such elements on level and plumb, on paved surfaces.
 - (2) Street benches should be placed against building walls or as approved by ARC.
 - (3) Generally, 12” diameter metal mesh litter containers with locking bottom shall be placed on all street categories except the retail street and public parks, which require 18” diameter containers.
 - (4) Specifications for approved street benches, bike racks, and litter containers shall be submitted to the ARC for approval.
 - (5) No advertising will be allowed on any exposed amenity or facility such as benches or trash containers.
 - h. News Rack. News racks and other information dispensers may be placed directly adjacent to a building facade upon ARC approval. Design of such dispensers shall meet with ARC approval.
 - i. Telephones. All public are required to be within the building envelope, unless otherwise approved by the ARC.

Section 6: Site Development

6.1 General.

Each Owner, at its expense, shall be required to plant and install landscaping and related improvements within that portion of the Common area contiguous to such Owner's Parcel, as provided for herein. Depending upon the location of such development within the Gateway Center such installations may include irrigation; lighting; streetscape and related hardscape improvements; the restoration and under planting of designated roadway buffers; and/or improvements to ancillary open space areas. All such improvements shall be constructed and installed in conformance with the standards used throughout the Gateway Center.

6.2 Gateway Center Common Area Improvements.

Owner, at its expense, shall provide the minimum required amount of unobstructed sidewalks and supporting streetscape improvements, including but not limited to protected pedestrian corridors that directly connect to multi-modal facilities, for adjoining street sections within the Gateway Center. All such improvements shall be constructed and installed in conformance with the standards used throughout the Gateway Center.

6.3 Site Coverage.

Due to the master planned nature of this development, the calculation of site coverage and site density/intensity may benefit from the flexibility of calculating area(s) associated with centralized storm water management tracts and/or common open space, or preserve areas. Consult with the ARC for options and opportunities pertaining to this flexibility.

6.4 Site Layout.

Site plans will be reviewed to assure that there is adequate space for access, parking, automobile and pedestrian circulation, landscaping and utility easements as well as for the protection and insulation from impacts in relation to adjacent uses. Site layout shall reinforce street and roadway edges and create pedestrian-scaled exterior spaces.

6.5 Building Location, Orientation, Density, Size and Height.

- a. Buildings should be arranged so as to reinforce principal street edges, to be transit-oriented, and to take advantage of topography, vegetation, or other natural features of the site.
- b. Where practical, a range of building heights should be provided to create interest and variety.
- c. Common facilities, clubhouses, leasing office, etc. should be easily identifiable and accessible.
- d. Buildings within individual developments shall compliment one another and adhere to the basic design principles of the architectural sketches and illustrations found in Section Two of this document.

Section 7: General

7.1 Finished Floor Elevation.

In certain conditions, Owners should consider architecturally raising the finished floor height of buildings 18 to 22 inches above the surrounding grade level to improve views and the appearance of the building.

7.2 Screening.

Roof mounted equipment, including, but not limited to, vent stacks and other penetrations, storage tanks, antennas, compressor units or other devices shall be integrated into the building design and screened to minimize visibility from ground level. In all cases, roof top screening shall use building materials similar to the facade of the building on which such items are located or be painted to blend with the building's walls and roof in order to create a smooth clean appearance.

The following elements shall be reasonably screened from ground level view from streets, entry drives, parking areas and building structures: trash containers; trash collection areas; maintenance facilities; ground mounted utility equipment including meters; storage areas ; air conditioning units; loading and service areas; construction and maintenance equipment based on the building site (except when actually in use); antennas, towers, and satellite dishes. Trash receptacles must be oriented toward service corridors and screened from view.

7.3 Electrical.

All cabinets, wiring, conductors, lamps, transformers, ballasts, raceways, attachment devices and other equipment associated with signage shall be screened.

7.4 Exterior Storage.

No outside storage of materials, supplies or equipment shall be generally permitted except during construction and for brief, temporary, intervals as approved by the ARC. The exterior display of merchandise, such as produce or flowers, will be permitted if approved in writing by the ARC.

7.5 Energy Related Design.

Solar panels or other energy conservation features are encouraged.

7.6 Service Areas.

No service or delivery vehicle shall be authorized to park or load/unload along Streets, primary entry drives or visitor plazas except where it might not be possible due to the nature of the design in which case approval by the ARC is required. In these instances, where approved, all efforts must be taken to minimize traffic disruptions. All service areas shall be paved, curbed and internally drained. Service areas shall avoid conflict physically and visually with customer and employee access, parking, walkways, etc.

7.7 Drainage.

All roof drainage shall be accommodated by interior roof drains that connect directly into the storm sewer except that drainage by downspouts is permitted on small or unusual roofs such as those over entrances, as may be approved by the ARC. No water from roofs, balconies or ledges shall be directed away from the facade of any building.

7.8 Service Boxes.

Boxes for mail drops, newspapers and similar items shall be installed in or around buildings in a manner to be approved by the ARC.

7.9 External Decorations.

Sculpture, flags and other external decorations visible from streets and common areas shall be subject to ARC approval. Seasonal decorations may be displayed at the

appropriate times. Gateway Center seasonal decorations shall comply with the standards for this district and are subject to ARC approval.

Section 8: Site Circulation

8.1 General.

The Owner shall provide clearly defined ingress and egress to buildings and associated parking areas.

8.2 Vehicular Circulation.

Access driveways shall be designed to minimize congestion on streets. In order to minimize curb cuts onto the spine road, shared access drives should be used in order to provide access to the predetermined median openings. Additional median cuts for private entrances shall be discouraged. If such cuts are allowed by the ARC, the Owner shall pay for the construction of the median cut and for any necessary modification, repair or relocation of utilities and for the full replacement of associated landscaping and irrigation. Other preferred standards include:

- a. The use of special vehicular plazas and motor courts for visitors is encouraged to provide for a sense of arrival.
- b. Medians within driveways off the spine roads are optional and shall be landscaped consistent with the streetscape design.
- c. One way driveway cuts are discouraged. Instead two way "right turn only" driveway cuts should be planned at midpoint locations between existing median openings.
- d. Driveways, including curb and gutters, shall be designed and constructed in accordance with the adopted standards of the City of Altamonte Springs.
- e. Sleeves for future utilities shall be placed under all driveways connecting to the spine road. At a minimum, two 4-inch sleeves shall be provided under all such driveways. Supplemental sleeving and conduits may be required by the ARC as identified during the plans review process.
- f. All curbs shall be of "full depth" construction and made of concrete.
- g. Refer to Section Two of this document for some alternative street cross-section designs.

8.3 Construction Standards (General).

Streets to be constructed by an Owner and planned for dedication to the City of Altamonte Springs must be constructed to standards adopted by the City. Several possible design alternatives for streets are offered in Section Two of this document, however, additional coordination may be necessary with the City Engineer and local

utility providers prior to their approval and use. Streets shall also be designed, where appropriate, to accommodate transit vehicles and bicycle lanes.

8.4 Pedestrian Circulation.

In general, all development should promote the safe and comfortable movement of pedestrian and bicycle traffic. Special considerations include the following:

- a. Site design shall accommodate pedestrian circulation from the primary use building(s) to parking and to adjacent structures.
- b. Pedestrian, bicycle and automobile traffic shall be separated to the extent possible. Where such traffic conflicts occur, consideration should be given to special paving or similar techniques to clearly mark such crossings.
- c. Parking areas should contain clearly defined pedestrian corridors to provide safe access to adjacent buildings.
- d. Sidewalks shall be constructed and/or tied into the master sidewalk system as approved by the ARC.
- e. Protected walkways must be provided from building entrances to transit stops, kiosks, and between buildings and parking structures when parking structures are not attached to the buildings. Where appropriate, it may be required that protected walkways be provided between buildings and uses to encourage pedestrianism as opposed to vehicular trips between uses and structures within the Gateway Activity Center.

Section 9: Parking

9.1 General.

Owners must provide adequate parking areas for all residents, commercial and retail employees, visitors, customers, and service vehicles. The location, size and design of off street parking areas shall be subject to the approval of the ARC. Within the Gateway Center, the ARC reserves the right to allocate certain on street parking allocations, and to permit reduced off street parking requirements.

9.2 Surface Parking (Off Street).

Surface parking areas shall be designed to the following standards.

- a. Constructed of concrete or asphalt pavement with full depth concrete curbs on a stabilized sub base. The use of curb drains may be required depending upon the drainage profile of the underlying soils. Brick pavers or stamped concrete, are encouraged for crosswalks as approved by the ARC.
- b. All construction shall meet City standards or the Design Guidelines, whichever is greater.

- c. Landscaping shall meet City standards or the Design Guidelines, whichever is greater.
- d. Large parking areas should be divided into multiple lots with landscaped borders and internal plantings. Maximum parking within a single lot should not exceed 150 cars. Lots should be separated by internal isles or driveways. Along street blocks, surface parking lots should not occupy more than 30% of the street edge along any single block.
- e. Where practical, a landscaped areas should be provided between the principal structure and the parking lot. This installation can include the use of foundation plantings.
- f. Surface parking areas must provide clear connections to transit services and should be designed in a manner that accommodates transit access and circulation.

9.3 Surface Parking (On Street).

Within the Gateway Center, and other areas as approved by the ARC, the use of on street parking maybe permitted. In such cases, the following standards shall apply:

- a. The maintenance and operation of all on street parking within public rights of way shall be subject to an encouragement agreement acceptable to the Owner and the City. Such agreements will provide for the maintenance, future resurfacing, and/or removal, if necessary, of the roadway surfaces identified for parking.
- b. Credit for the calculation of such on street parking will be assigned to Owner through the ARC.

Structured Parking.

Structured parking facilities shall be designed and presented to meet the Land Development Code structured parking requirements in Section 3.41.7 – 3.14.10. for building type, circulation, and architectural standards. Architecturally, structured parking facilities are to stress compatibility in appearance, size, scale, and bulk of the structure with its surroundings in the design. The architectural design proposal should address, but not be limited to the following:

- a. Minimizing blank concrete facades;
- b. Use of textured concrete, planter, and trellises;
- c. Achieve architectural unity with adjacent buildings; maintain a common architectural character with the principal building;
- d. Incorporate at a minimum an equal portion of vertical and horizontal architectural elements;
- e. Replicate the regular window pattern and other architectural elements of adjacent buildings;

- f. Incorporate art into the structure's facade;
- g. Address height, setbacks, visual screening of parked cars, landscape requirements, and lighting.
- h. Structured parking facilities must provide clear connections to transit services and should be designed in a manner that accommodates transit access and circulation.

Section 10: Signage.

10.1 General.

Signage shall include regulatory and safety signage, directional signage, on and off site directional signage, facility identification signage, monumental signage elements, special purpose signage (such as banners), and building mounted signage or other signs (such as temporary signage) as might be approved by the ARC. All such signage shall be of a consistent, tasteful quality and consistent with the LDC Sign Regulations and the architectural standards established herein. All signs require the approval of the ARC. In reviewing proposed signage, the ARC shall consider the signs location, orientation, size, shape, design, color, content, and consistency with City Sign Ordinances in effect at the time of submittal.

Off-site directional signage within the Gateway Center project may be authorized by a signage master plan approved by the ARC. Changes from this approved plan will not be permitted without the written authorization of the ARC.

10.2 Permanent Signs.

- a. All traffic signs shall be consistent in design throughout the streets within Gateway Center. Traffic signs shall be of a post and panel design. Posts and panel backs shall be painted out with an approved paint. Post caps shall be incorporated to finish out the appearance of these sign elements.
- b. Directional signage shall be within or adjacent to the common areas and shall be consistent in design throughout Gateway Center. Directional signage internal to an Owner's site is permitted providing the signage is simple, clear, designed to reflect the character of the site architecture and is located to have minimum visibility from beyond the Owner's property line. To the extent practical, internal site signage shall have a low profile and, except for entry signage, shall not be located within the landscaped areas. Signage within parking structures should not be easily visible from outside the structure.
- c. There shall be only one ground mounted sign for each single-unit building site. Multi-unit center (three or more units) Building Sites may have one ground mounted sign on each street frontage, with a maximum of two ground mounted signs. Ground mounted signs shall generally be erected near the main entry driveway to such Owner's tract and shall be compatible with the architecture of the primary use building on such tract. Said signs shall not exceed a length, height, or width approved by the ARC, and generally shall be a maximum of ten (10) feet in height above ground level and 50 square feet in area unless the Owner can

demonstrate to the satisfaction of the ARC that alternative dimensions are necessary. Such signs shall be illuminated at night by concealed flood lights from ground level or backlit, as approved by the ARC. No lights exposed to view from the Street shall be mounted on the sign. An Owner may use only its business logo, name, and street number (but not the street name) on its entry sign. Smaller ground mounted monument directional signs, not exceeding four (4) square feet in area, and compatible with the primary entry sign described above are permitted at other entry points for large tracts. Lettering on these small signs is limited to the company name and purpose of entry, i.e., "Visitor's Entrance." Retail centers and standalone retail also may have one ground mounted four-square foot directional entry sign similar to the above within the landscaped area in front of their building. Directional entry signs shall not be located closer together than 300 feet without prior approval of the ARC.

- d. Within Retail areas, building mounted signs shall be as allowed by the LDC Sign Regulations. Such signs shall be limited to the trade name of the retail store and shall be consistent in height, color, and location on the building within the particular Retail development. Signage shall not be allowed above the facade roofline or protruding from a mansard-type roof. Such signs shall be legible from the Street and of a size approved by the ARC.
- e. Pylon-type signs require specific ARC approval. Such approval shall be given rarely. In those few circumstances where pylon signs are permitted, they shall be associated with Retail uses fronting onto Maitland Boulevard and SR 434.
- f. Multiple tenant occupied office buildings may install one monument sign of a size approved by the ARC, identifying the building, its street number and the principal tenants within the building. This sign is in lieu of the building entry sign described herein.
- g. Signage mounted on a building surface shall generally not be allowed within the Property except for Retail uses. Deviations can be granted by the ARC if its sole discretion such request is warranted and done in a manner reflecting quality.
- h. Temporary signs, temporary sales banners, or similar advertising signage are not permitted on a building facade. Retail within a primary use building may have appropriate signage as approved by the ARC.
- i. Freestanding retail structures shall generally be allowed a maximum of two signs. One sign may be attached to the building wall and the other may be ground mounted as follows:
 - (1) Attached (Wall Mounted) Sign: The sign message shall be limited to the name of the establishment and may contain a logo. Sign dimensions shall be approved by the ARC.
 - (2) Ground mounted Sign: A ground-mounted sign (within the landscape setback) shall carry the same message as the sign attached to the building.
- j. Movie theaters are allowed a building mounted sign and a ground or facade

mounted marquee only at the sole discretion of the ARC. The building mounted sign shall state the name of the theater. The marquee shall include the name of the theater and space for current programs. The exact size and configuration shall be approved by the ARC.

10.3 Signage Criteria.

Gateway Center project ID signs shall be presented as a unified package and shall replicate the materials and architecture used in Gateway Center office buildings. Project ID signs shall only be permitted subject to the approval of the ARC and may require an easement or City right-of-way licensing agreement, depending on replacement. Gateway signs and other features shall be the same at all locations.

- a. If a freestanding Gateway Center project ID sign is proposed to be used at the Gateway Drive/SR 434 intersection, the Maitland Boulevard entrance, or the corner of SR 434/Maitland Boulevard, it may be a maximum of 20 feet in height and 150 square feet in area.
- b. Gateway Center project ID entry wall signs shall be permitted subject to the approval of the ARC, and shall include gateway entryway landscaping enhancements as a primary feature.
- c. Other types of Gateway Center project ID signs may be considered by the ARC.
- d. Gateway Center project ID signs may only identify the overall project. No business-specific signs or advertising is permitted on the project ID signs.

The following general requirements and prohibitions shall apply to the usage and installation of all exterior signs.

- a. Signage within and adjacent to the common areas, including, but not limited to, directional, traffic control and street identification signs, shall be constructed to the design and specifications of the signage master plan as approved by the ARC.
- b. Flashing, blinking, moving, exposed light, iridescent colors, fluorescent materials, animated or audible signs, banners, streamers, balloons, and searchlights are not generally permitted.
- c. Neon or gas tubing signs shall generally not be permitted. The ARC may make exceptions in Retail areas. See “Accent Lighting” for concealed neon building accent lighting allowances.
- d. Signs with three dimensional, vacuum-formed plastic sheets are prohibited.
- e. Billboard signs or other signs that advertise a product are prohibited. No product advertisements or pictures shall be displayed.
- f. No Owner shall add or request permission from the City to add any lettering to any water tower or utility structure located within Gateway Center or to change the color or a water tower or utility structure. Subject to City approval, the only lettering shall be limited to the City name and logo and the words “Gateway

Center.”

- g. Signage shall have no exposed wiring, conduits, lamps, ballast boxes, or raceways. All cabinets, transformers, ballasts, attachment devices, and similar equipment shall be concealed.
- h. In general, the informative content of all signs shall be limited to letters designating the establishment name and/or type of establishment (which designation shall be generally description and shall not include any specification of the merchandise offered for sale therein or the services rendered therein), and shall contain no advertising devices, slogans, symbols, or marks except company logos.
- i. No building mounted sign or any portion thereof may project above the parapet wall or top of the exterior wall or building facade upon which it is mounted, with the exception of the movie theater which shall be at the sole discretion of the ARC. No rooftop signs of any type shall be permitted. Signs perpendicular to the face of the building or facade shall be permitted as approved by the ARC.
- j. The letters on signs shall be consistent in style and type. No signage shall be painted on a building facade or ground mounted sign. Traffic and general directional signs are exempt from this requirement.
- k. Glass areas of storefronts, offices, and leasing offices shall remain free of graphics except the address, hours of operation, and entrance/exit information unless otherwise approved by the ARC.
- l. Unless otherwise approved by the ARC, sign colors are limited to one color for the lettering and one color for the background. Generally, the background color should be darker than the letter color. Company logos may be the trademark color.
- m. All materials used in signage, except temporary signage, shall be durable, of permanent nature, require minimum maintenance and be resistant to weathering and staining.
- n. The height of projections and depth of recessions off the sign-supporting surface shall be approved by the ARC.
- o. Sign illumination, if used, shall be concealed.
- p. Strips and similar graphic elements used to decorate walls, awnings, and gas canopies that are corporate logo elements rather than architectural enhancements or embellishments, shall be considered project signage and shall count toward the maximum sign square footage allowances. The determination of such elements being considered as signage shall be determined by the ARC.

10.4 Storefronts, and Awnings.

- a. Retail and Residential Tenant Signage. The intent of the Retail Tenant Design Criteria is to create an effective retail environment in a manner consistent with a vibrant urban setting. All residential signage must be approved by the ARC. The

exact size, shape, color, design, and configuration for Residential and Retail signs shall be approved by the ARC.

b. Underlying Concepts.

- (1) Highly restricted signage detracts from the excitement of shopping. Shop fronts should be individually designed.
- (2) Both vehicular and pedestrian traffic should be addressed in the design of storefront sign systems.
- (3) Exterior tenant elements (storefront, awnings, signage, and window displays within the 5' of the exterior glass) should convey individuality and differentiate one business from the other.
- (4) Exterior tenant elements should be different in appearance from similar elements found in suburban retail development.
- (5) Elements of each particular tenant sign should be highly graphic and designed a part of a larger unified tenant sign program.
- (6) Diversity in tenant signage and storefront design will create a richer, more interesting retail environment.

c. Storefront Guidelines.

- (1) Each storefront shall be an integrated design to include the storefront, the entrance, and the signage. Signage shall not exceed 30 inches in vertical dimension when applied to the building facade. Blade signage shall not exceed 24 inches in vertical dimension. Signage shall not be translucent.
- (2) Signs attached to buildings shall be integral to the storefront design and shall be externally illuminated.
- (3) The main entrance of each lease space shall be covered or protected in some manner. Examples of such protection include, but are not limited to, awnings and recessed entries.

d. Glazing standard aluminum storefront framing systems with large expanses of glass, similar to those found in typical suburban shopping centers, are discouraged and shall in no event constitute more than 40% of a tenant storefront. Butt-joint glazing, or structural silicon systems using aluminum interior support members will not be considered standard storefront systems and are exempt from the 40% limit.

e. Color and Infill Materials.

- (1) Storefronts and signage shall be painted dark gloss color. Lettering may be any color, except fluorescent.
- (2) The following materials and sign types are not allowed:

- i. Box signs; Internally illuminated can letters having Plexiglas or other translucent letter faces;
 - ii. Back lit, translucent fiber glass or plastic awnings such as “Panaflex;”
 - iii. Plaque signs with painted, vinyl or other surface applied letters.
- f. Awnings. Awnings are strongly encouraged. Awnings shall:
 - (1) Occur within the Permissible Fixed Awning Area (no lower than 8’ above sidewalk [excluding valances] and no higher than the underside of the signband);
 - (2) Extend no more than 5’ from the building face;
 - (3) Be constructed of metal, glass, canvas, or any other suitable material other than backlit, translucent fiberglass or plastic such as “Panaflex,” which is prohibited. In the event that canvas is used, all efforts must be taken to ensure the material will not fade. If the material does fade, Owner must replace immediately to eliminate a “dilapidated” or worn out look.
 - (4) Be permitted to contain graphics and limited pedestrian-scaled text.
- g. Signage Illumination.
 - (1) Illumination of signage is not required. Signs may be internally illuminated, with ARC approval, or have ground-lit or backlit letters. Internally illuminated signs shall have an opaque background with translucent letters. Any method of illumination must be even with no hot spots.
 - (2) Retail tenants may have individual backlit letters or individual dimensional metal letters, pin-mounted 2” from the sign band.
 - (3) Light sources for illuminated signs must be concealed.
 - (4) All signs shall be designed to prevent light from falling on the windows above.
- h. Sign Installation.
 - (1) Electrical connections shall be made at the junction boxes provided on the face of the building. In no event shall electrical connections be allowed at locations other than these junction boxes. Any signage illumination distribution wiring shall occur within the body of the sign and transformers shall be concealed from view.
 - (2) Attachments shall be allowed at lower junction box covers and mortar joints only. To the maximum extent possible, all attachment shall be confined to the mortar joints in the recessed brick course on either side of the junction box.

- i. Signage Construction.
 - (1) All signs and their associated wiring and electrical equipment shall be fabricated and installed in compliance with all appropriate city codes or ordinances. All electrical equipment and wiring must be concealed.
 - (2) Signs and their supporting structures shall be constructed of durable materials, consistent with and complementary to the architectural design of the building.
- j. Commercial Tenant Signage. Each commercial building shall be limited to one permanent identification sign that may contain only the name of the building, the address of the building and the company name of the primary tenant. The design of all commercial tenant signage shall be reviewed individually by the ARC. Suggested commercial signage types are as follows:
 - Low freestanding signs shall not exceed four (4) feet in height and six (6) feet in length, and have a maximum sign face area of 24 square feet for each sign face. Waivers may be permitted at the sole discretion of the ARC. Signs shall be installed perpendicular to the street curb, and located in the setback areas.

Section 11: Lighting

11.1 General.

Lighting shall be provided for pedestrians, vehicles and certain signage, and, with ARC approval, lighting may be used for decorative accent purposes.

11.2 Walks and Plazas.

Pedestrian-scale lighting shall be installed at sufficient illumination levels to provide for safety and security. Fixtures shall compliment building design and be compatible with parking/driveway lighting fixtures. Any pedestrian lighting fixtures installed in common areas or within setbacks adjacent to Streets shall be similar to those used throughout the common areas. Light poles for pedestrian walks should generally not exceed 16 feet in height and shall be spun concrete with a decorative finish in a dark color. Short bollard-type fixtures are also permitted. Light poles should not exceed 20 feet in height in plaza areas unless otherwise approved by the ARC. Pedestrian-scale lighting should be a warm-tone white light.

11.3 Drives and Parking Areas.

Driveway parking lot areas shall be illuminated for safe maneuvering of motor vehicles. Fixtures along driveways shall be consistent in type and color, with those used in the common areas and should generally not exceed 26 feet in height. No general parking lot illumination or driveway lighting source shall be attached to any primary use building. No general illumination light poles shall be allowed on or adjacent to perimeter parapet walls of parking structures. The interior decks of all parking structures shall be lit to provide adequate illumination levels, yet the fixture should not

be easily visible from ground level. Light pole height on the upper floor of parking garages shall be limited to 20 feet. Such light poles shall be consistent in appearance with the fixtures used in the common areas. Automobile related lighting should be a cool-tone white light.

11.4 Accent Lighting.

Appropriate accent lighting of buildings, landscaping, plazas, and other special features is encouraged as long as the light source is concealed or screened. Primary use buildings shall have accent lighting of their entrances and facades facing any street. Landscaping may be uplit at the Owner's option. Architectural lighting should be a warm tone white light.

11.5 Other Lighting Requirements.

Illumination shall be designed, to the extent reasonable, to eliminate glare or light flow onto adjacent properties and to be directed away from adjoining properties. Light poles in excess of 26 feet in height are prohibited unless approved by the ARC for large retail areas or major intersections. All wiring, transformers, and related equipment shall be below ground. Exterior lights shall be metal halide, mercury vapor, or of similar color. Yellow or orange colored lighting or lighting with a pronounced blue cast is prohibited. Incandescent lighting should be considered for pedestrian areas and near buildings.

11.6 External Lighting.

a. Lighting of Public Spaces.

(1) General

- i. Lighting should provide a feeling of safety and security throughout the area. The Owner shall install attractive and efficient site lighting fixtures which adequately light the property and avoid light spillover (in excess of .5 foot-candles) onto adjacent properties.
- ii. Express the hierarchy of pedestrian and vehicular circulation zones, and define building entrances and architectural or site features to create a safe, attractive nighttime environment.
- iii. Use architectural lighting to articulate the building design as well as provide the required functional lighting for safety and clarity of pedestrian movement. Building illumination and architectural lighting shall be indirect (no light source visible). Indirect wall lighting, "wall washing" overhead down lighting, or interior illumination which spills outside is encouraged.

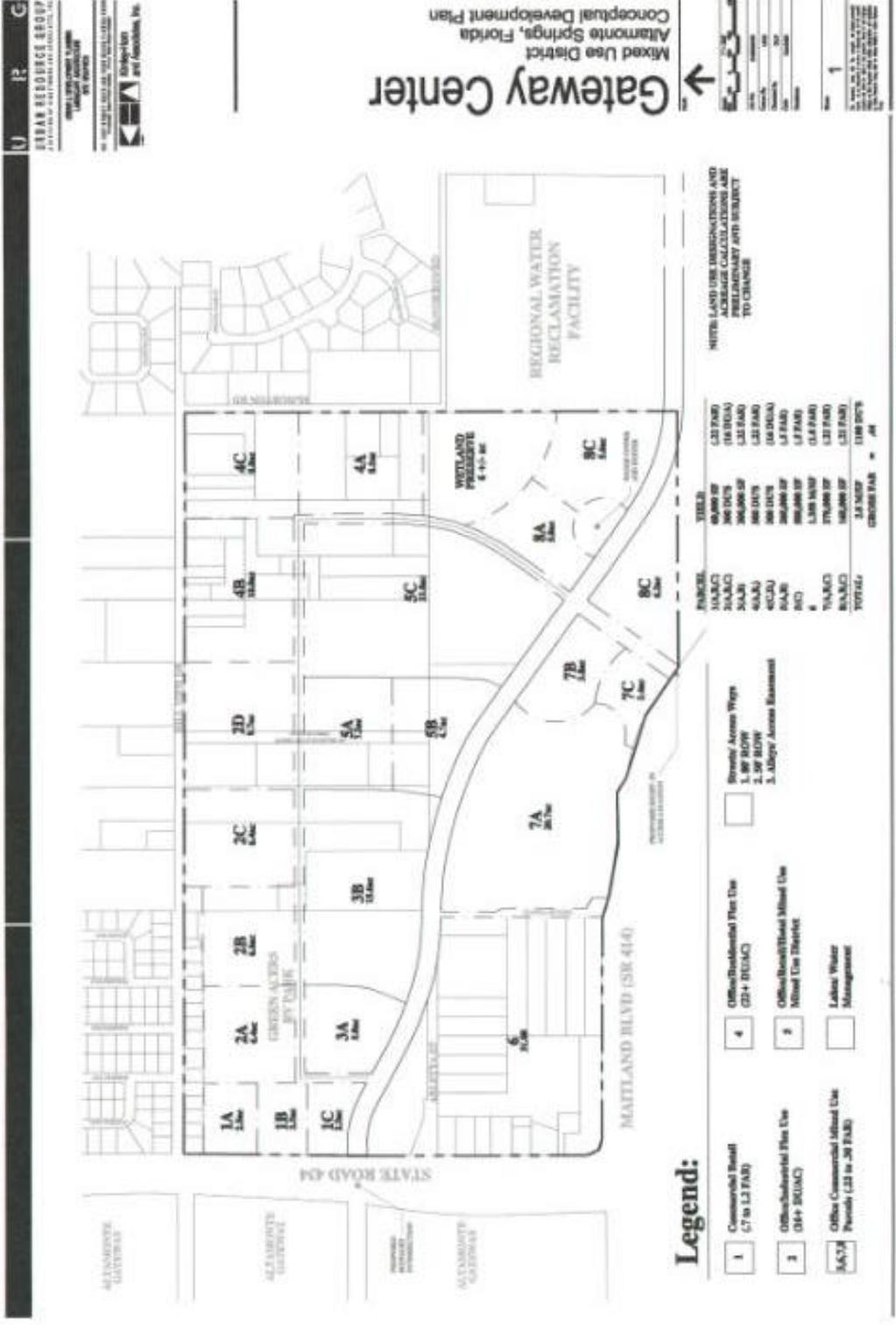
(2) Parking Lots. Parking lots should be illuminated in a range of one (1) to (1.5) foot-candles. Light poles should not exceed 26 feet in height and be located within landscaped areas to avoid damage from vehicular traffic.

(3) Walkways. Open space and walkways should be illuminated to 0.5 to 1.0 foot candles.

- (4) Landscape. The use of low level lighting, landscape accent lighting, and architectural lighting are encouraged. The illumination source should be “warmlight” as provided by incandescent light bulbs.
- (5) Pedestrian Areas. May be illuminated with either bollard, pole, or wall mounted fixtures having a maximum pole height of 14 feet. Illuminate pedestrian areas at a level of 0.5 to 1.0 foot candles.

Section 2

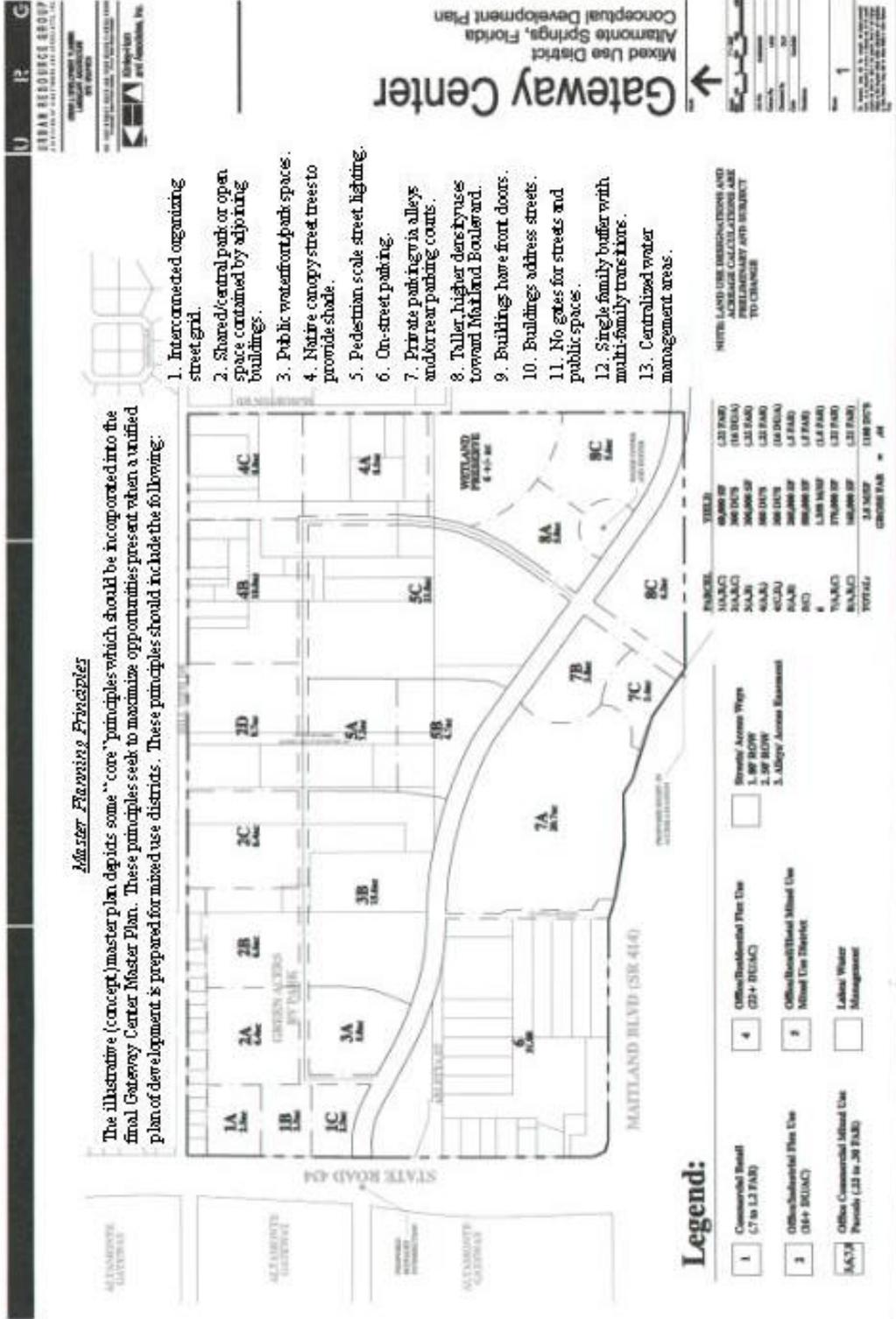
Illustrations and Examples of Guidelines and Concept Plan



Map 1 Parcel Plan

Gateway Center
 Mixed Use District
 Altonite Springs, Florida
 Conceptual Development Plan

U R G
 STRAN RESOURCE GROUP
 A STRAN COMPANY
 1001 EAST BAY DRIVE, SUITE 100
 WEST PALM BEACH, FL 33411
 561-833-1100
 STRAN RESOURCE GROUP
 875 S.W. 10TH AVENUE
 MIAMI, FL 33135
 305-371-1100
 STRAN RESOURCE GROUP
 1001 EAST BAY DRIVE, SUITE 100
 WEST PALM BEACH, FL 33411
 561-833-1100



Map 1B Parcel Plan

*Gateway Center
Design References*



Gateway master planning concepts are encouraged to use centralized open space amenities combined with centralized water management areas. Here such a concept has been integrated with a recreational pathway system which is extensively used by the development residents and tenants.

Figure 1

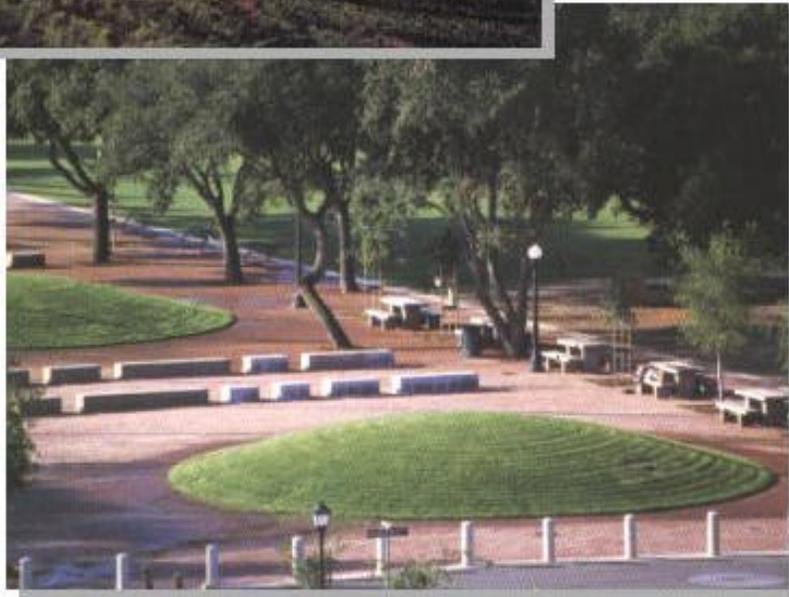


Figure 2



*Gateway Center
Design References*



Figure 3

Within central project open spaces, the use of public art (left), or fountains (below) both enrich these spaces while reinforcing their desired pedestrian functions.



Figure 4



Figure 5

Multiple land uses organized around common areas can be emphasized through the use of strong vertical architectural elements. Here, buildings are anchored by a tower which serves as a visual landmark for pedestrians and motorists.



*Gateway Center
Design References*



Figure 6

Pedestrian comfort and safety is critical to the promotion of non-vehicular movement. Here enriched paving and drop curbs serve to “pedestrianize” this intersection. Note the arcade running along the storefronts.



Figure 7



Figure 8

True mixed use development could incorporate the vertical (vs. horizontal) integration of various land uses. Here residential units (with parking to the rear), are stacked above office and retail uses. This pattern serves to maximize the utilization of development within the “core” while resulting in a more vibrant and interesting architectural theme.

Where free standing “out parcel” development is proposed, it should adhere to the general site planning principles described herein, and be designed architecturally to relate by colors and materials to the rest of Gateway Center.



*Gateway Center
Design References*



Figure 9

Street intersections and corners are “signature” locations and should help to reinforce the pedestrian environment within Gateway Center. Here a two story structure anchors this street corner while benefiting from the site’s visibility and prominent location.

Unique and innovative approaches to residential development are encouraged. “Single use” multi-family site plans should feature central open space(s), an appropriate street edge, and a style of architecture which is relevant to the Gateway Center “theme”.



Figure 10



Figure 11

Multi-story residential development should contribute to the Gateway Center “theme” through the careful use of roof treatments; the modulation of building elevations; and the scale and proportions of balcony and window treatments.



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Figure 12

The extensive use of canopy trees is favored over palm trees. Here green “pockets” of dense shade provided by canopy trees helps to soften a pedestrian linkage from a parking area to a commercial center. Note the use of architectural awnings to provide shade along the storefronts and to soften the building elevation.



Figure 13

Pedestrianways, deep shade, extensive landscaping, and the proper use of architectural scale and proportion all combine to create the high quality of this mixed-use environment.



Gateway Center Design References

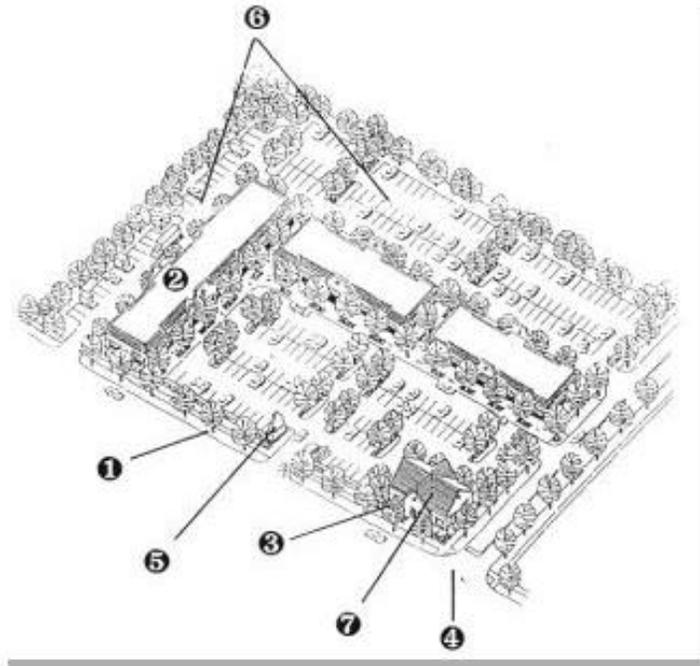


Figure 1

Commercial Center with Outparcel

1. Retail streetscape frontages shall be consistent with the requirements and landscape treatments identified for that particular roadway edge, including the placement of sidewalks, pedestrian amenities and lighting.
2. Structures should all share compatible architectural styles-which in turn are compatible with the Altamonte Springs look.
3. Where possible, site structures to define the street edge and create a responsible relationship to the sidewalk.
4. Curb cut off of primary roadways are to be minimized through the use of shared driveway cuts.
5. Strict adherence to design standards for low monument signage which is compatible with the specified architectural style.
6. Screened parking, sited to the rear or to the sides of structures, should be screened with landscaping.
7. All structures are to incorporate a roof-either hip or mansard on all four sides.



Gateway Center Design References

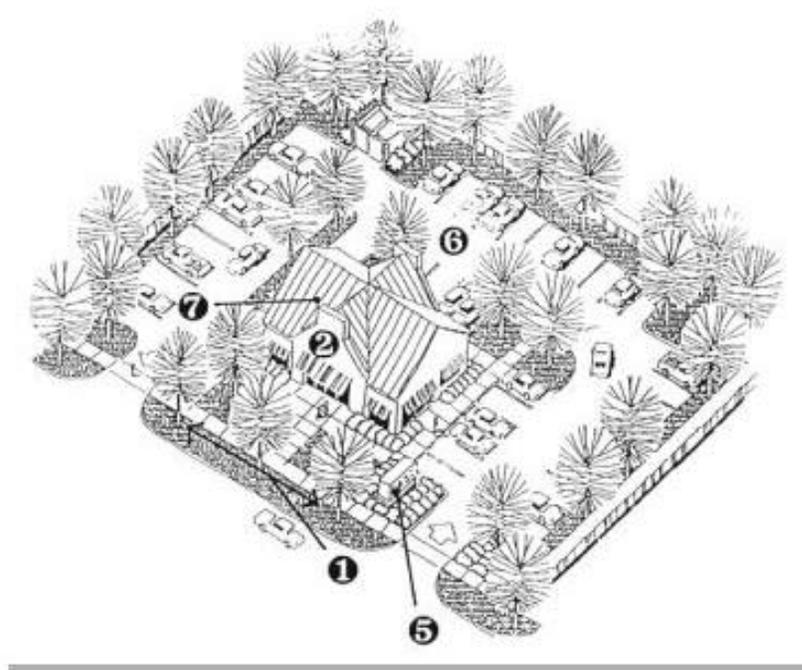


Figure 2

Fast Food Outlet with Drive-Thru

1. Retail streetscape frontages shall be consistent with the requirements and landscape treatments identified for that particular roadway edge, including the placement of sidewalks, pedestrian amenities and lighting.
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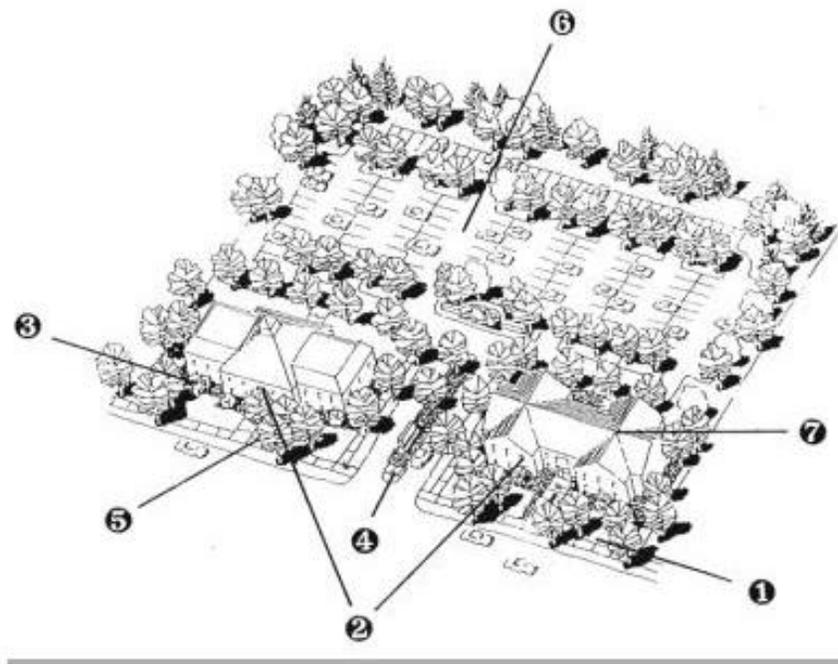


Figure 3

Garden Office Development

1. Retail streetscape frontages shall be consistent with the requirements and landscape treatments identified for that particular roadway edge, including the placement of sidewalks, pedestrian amenities and lighting.
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Design References*

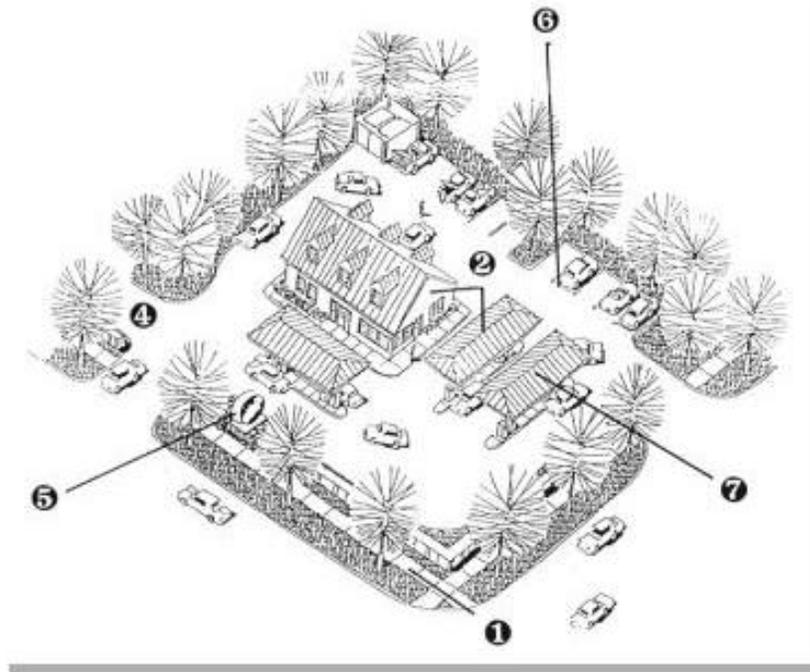


Figure 4

Gas/Service Station

1. Retail streetscape frontages shall be consistent with the requirements and landscape treatments identified for that particular roadway edge, including the placement of sidewalks, pedestrian amenities and lighting.
2. Structures should all share compatible architectural styles-which in turn are compatible with the Altamonte Springs look.
3. Where possible, site structures to define the street edge and create a responsible relationship to the sidewalk.
4. Curb cut off of primary roadways are to be minimized through the use of shared driveway cuts.
5. Strict adherence to design standards for low monument signage which is compatible with the specified architectural style.
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7. All structures are to incorporate a roof-either hip or mansard on all four sides.



Gateway Center Design References

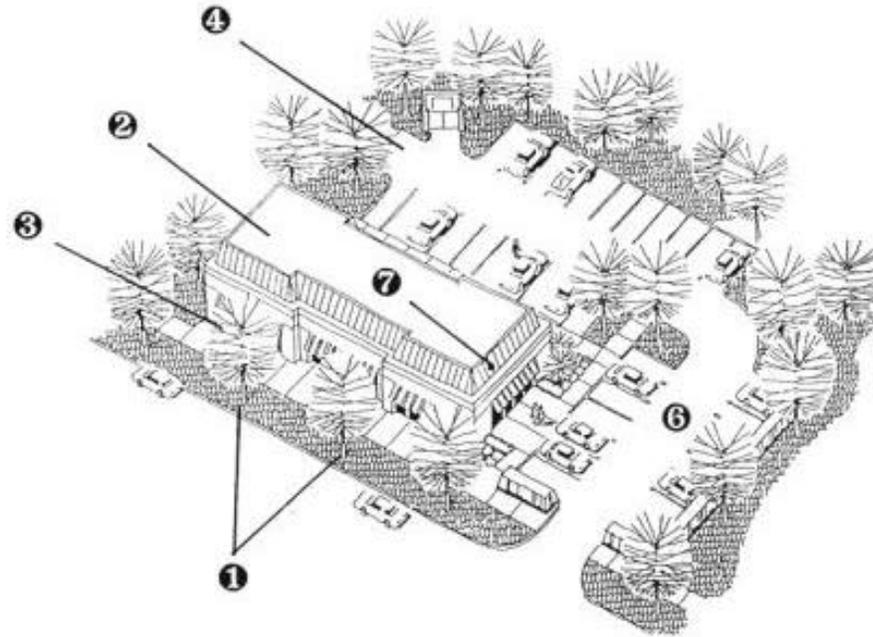


Figure 5

Restaurant

1. Retail streetscape frontages shall be consistent with the requirements and landscape treatments identified for that particular roadway edge, including the placement of sidewalks, pedestrian amenities and lighting.
2. Structures should all share compatible architectural styles-which in turn are compatible with the Altamonte Springs look.
3. Where possible, site structures to define the street edge and create a responsible relationship to the sidewalk.
4. Curb cut off of primary roadways are to be minimized through the use of shared driveway cuts.
5. Strict adherence to design standards for low monument signage which is compatible with the specified architectural style.
6. Screened parking, sited to the rear or to the sides of structures, should be screened with landscaping.
7. All structures are to incorporate a roof-either hip or mansard on all four sides.



*Gateway Center
Design References*

URBAN STREET TYPES:

WITHIN THE GATEWAY CENTER, ALTERNATIVE ROAD AND STREET CROSS SECTIONS CAN BE EXPLORED WHICH ARE MORE COMPLIMENTARY WITH MIXED AND MULTI-USE DEVELOPMENT. SUCH MODIFIED CROSS SECTIONS SHOULD SEEK TO ACHIEVE THE FOLLOWING OBJECTIVES:

- PROMOTE PEDESTRIAN SAFETY AND COMFORT.
- PERMIT ON-STREET PARKING WHERE PRACTICAL.
- REDUCE DRIVING SPEEDS.
- PERMIT REDUCED BUILDING SETBACKS.
- LOCATE BURIED UTILITIES SUCH THAT TREE INSTALLATIONS ARE POSSIBLE BETWEEN THE SIDEWALK AND TRAVEL LANE.

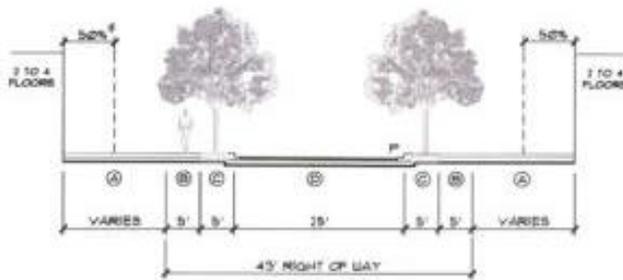


Figure 1

TYPE/COMMENTS:

A-STREET: 'THE LOCALIZED STREET'

- PARKING OPTIONAL (ALONG ONE SIDE OF THE STREET)

^D BUILDING ENCROACHMENT

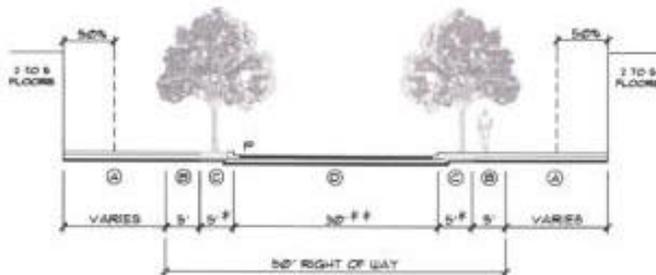


Figure 2

B-STREET: 'THE MODIFIED LOCAL STREET'

- PARKING OPTIONAL (ALONG ONE SIDE OR BOTH SIDES OF THE STREET)

^D 15 FEET * INTERSECTIONS WITH A-STREETS

^D 25 FEET * INTERSECTIONS WITH A-STREETS



*Gateway Center
Design References*

URBAN STREET TYPES:

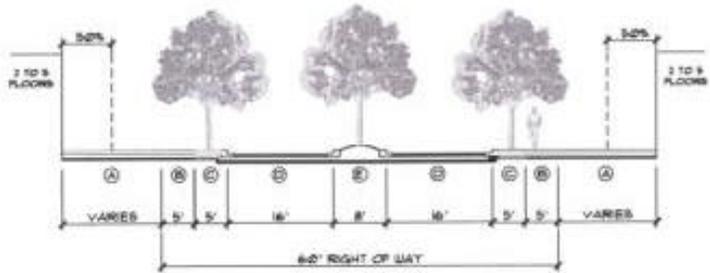


Figure 3
C-STREET 'THE BOULEVARD'
- MAY INCORPORATE 4' OUTSIDE BIKEWAYS

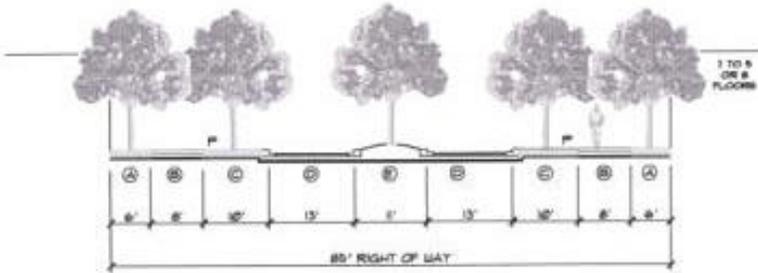


Figure 4
D-STREET: 'THE BOULEVARD/
PROMENADE'

KEY:

- (A) BUILDING TRANSITION (MAY VARY) AND SIDEWALK 'HARMONIZATION' ZONE
- (B) SIDEWALK
- (C) STREET VERGE CONSISTING OF SOFTSCAPE, HARDSCAPE AND/OR PARKING
- (D) TRAVEL LANE (IF LESS THAN 16 FEET USE MOUNTABLE CURBS)
- (E) LANDSCAPED MEDIAN

